

**DOCUMENT 00 91 13.1**

**ADDENDUM 1**

**1.1 PROJECT INFORMATION**

- A. Project: Spaulding Building Renovation
- B. Owner: State of North Carolina – Fayetteville State University – Fayetteville, NC
- C. Owner Project Number:
  - 1. SCO ID #: 24-28707-A01
- D. Architect: Studio Archibene, PLLC
  - 1. Architect Project No.: S/A Project Number 2404.00
- E. Date of Addendum: 02 July 2025

**1.2 NOTICE TO BIDDERS**

- A. This Addendum is issued to all registered plan holders pursuant to the Instructions to Bidders and Conditions of the Contract. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.
- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form.
- C. The date for receipt of bids is **unchanged by this Addendum**, at same time and location.
  - 1. Bid Date: July 17, 2025
  - 2. Bid Location: Fayetteville-Cumberland Regional Entrepreneur Business HUB, Bronco Midtown Shopping Center, 1073 Murchison Road, Fayetteville, NC 28301
- D. A Pre-Bid Conference was held at the project site at 3:00pm on June 26, 2025. Meeting minutes for that conference are incorporated herewith.

**1.3 REVISIONS TO PREVIOUS ADDENDA (Not Used)**

**1.4 REVISIONS TO DIVISION 00 PROCUREMENT REQUIREMENTS AND CONTRACTING REQUIREMENTS**

- A. Document: Supplementary General Conditions (not reissued).
  - 1. Paragraph: Use of Site
    - a. Parking: The number and location for any on-campus parking outside the bounds of the site fence will be coordinated during the Pre-Construction Conference.
    - b. Site Fence: Any revisions to location or extent of the site boundary fence from what is shown on the drawings will be coordinated during the Pre-Construction Conference.
    - c. Dumpster: Location of dumpster is to be within the site boundary fence and will be coordinated during the Pre-Construction Conference.

**1.5 REVISIONS TO DIVISION 01 GENERAL REQUIREMENTS (Not Used)**

**1.6 REVISIONS TO DIVISIONS 02 - 49 SPECIFICATION SECTIONS (Not Used)**

**1.7 REVISIONS TO DRAWING SHEETS**

- A. Sheet **A04-01 - Demolition Plan** (not reissued).
1. Drawing 01 – Demolition Plan: CHANGE “Remove Lockers Salvage to Owner” to “Remove and Dispose Lockers”
- B. Sheet **A13-01 – Finish Plan and Finish Schedule** (not reissued).
1. Schedule: AC01 CHANGE “Refer to RCP” to “Lobby, refer to RCP”
  2. Schedule: AC01 CHANGE “Lyra Concealed / 24" x 24" / White / 15/16" Quick Kerf Edge Prelude XL HD” to “ULTIMA High NRC / 24" x 24" / White / 15/16" Beveled Tegular”
  3. Schedule: ADD “AC02 / All locations except Lobby / Acoustic Ceiling Tile / Match existing grid and tile color and patterning”
  4. Schedule: WC02 CHANGE “Wall should be prepared to no less than a Level 4, but preferably a Level 5” to “Prepare wall to Level 5 finish.”
  5. Schedule: PT01 DELETE “ Refer to Specifications for Required Level 5 Finish Locations”
- C. Sheet **A43-03 – Millwork Details** (not reissued).
1. Drawing 04 – Section Full Height Cabinet: CHANGE “Scheduled Microwave” to “Appliances by Others”
- D. Sheet **A51-01 – Plan and Section Details** (not reissued).
1. Drawing 01 – Attic Access Section: CHANGE “4'-0" x 2'-6" Attic Access Hatch With Integral Curb” to “3'-0" x 2'-6" Attic Access Hatch With Integral Curb”
  2. Drawing 03 – Room 118 Enlarged Reflected Ceiling Plan: CHANGE “NOM.4'-0" x NOM. 2'-6" to “NOM.3'-0" x NOM.2'-6"”
- E. Sheet **A62-01 – Door Schedule and Details** (Sheet reissued, see attached).
1. ADD Drawing 01 – Room Identification Signage Plan
  2. ADD Drawing 04 – Room Identification Signage Mounting Height

**END OF DOCUMENT**



## MEETING MINUTES: Pre-Bid Meeting

**Project 2404.00 - Fayetteville State University Spaulding Building Renovation**

**Date of Meeting: 26 June 2025**

**Location: Spaulding Building, Martin Luther King Dr, Fayetteville State University,  
Fayetteville, NC 28301**

### Attending:

Harold Miller	Fayetteville State University
Jason Bilodeau	Fayetteville State University
Harold Miller	Fayetteville State University
Josh McLain	Fayetteville State University
Marian Espitia	Studio Archibene
Kenneth Luker	Studio Archibene

<< See Sign-In Sheet >>

### Meeting Record:

1. The purpose of this meeting was to provide Pre-Bid discussion of the project, including questions answered and walk-through of the project site.
2. Bidders were reminded of bid requirements outlined in the Project Manual and also including:
  - a. Bid Opening on July 17, 2025, at 3:00pm at the Fayetteville-Cumberland Regional Entrepreneur Business HUBB, Bronco Midtown Shopping Center, Fayetteville, NC
  - b. Last day for RFC/RFI during bidding: Monday, July 7
  - c. Issue date for last addendum: Thursday, July 10
  - d. Anticipated Start Date: Thursday, 31 July 2025
  - e. Anticipated End Date: 26 November 2025
  - f. Constraints on Project Schedule
    - i. Any campus event dates requiring coordination or limited site access will be coordinated with Successful Low Bidder during the Pre-Construction Conference.
    - ii. Special limits on work hours? 7:00am – 8:00pm Monday - Saturday
  - g. In-Person bid submissions are strongly encouraged. Mailed in bids must arrive before this closing of bidding and must be clearly noted on exterior of envelope. Mail to address on Notice to Bidders.
  - h. Project Manual includes required Forms for bidding that include:
    - i. Identification of HUB/MBE Participation, Affidavit A, Affidavit B
    - ii. Form of Bid Bond (This SCO format is required. Do not use AIA format)

- i. All persons signing Bid Forms must be representative officers of their respective company and registered with the State.
3. Bidders were reminded of the Certificate of Insurance edits required in the Project Manual and that an Insurance Endorsement Page is required with each COI.
4. If Bidders wish to visit the project site during bidding, contact Josh McLain with FSU at (910) 672-1468 or [jmclain2@uncfsu.edu](mailto:jmclain2@uncfsu.edu), please notify within 48 hours of intended visit.
5. Anticipated University Activities:
  - a. Existing furniture inside building will be relocated, stored, and replaced by Owner. Some furnishings will remain on site and be located, by Owner into rooms that will not be renovated.
6. Use of premises during construction was discussed, including:
  - a. Parking – On-site parking is very limited and remote parking for workers is encouraged.
  - b. Exact location of parking will be coordinated with successful bidder at the Pre-Construction Conference.
  - c. The bounds of a site fence were discussed; dumpsters shall be located within site fence and exact location coordinated with successful bidder at the Pre-Construction Conference.
  - d. Keep construction site as orderly as possible as Spaulding Building is at the face of the university.
  - e. Any damaged landscaping shall be restored to the quality and extent of pre-construction conditions.
  - f. Building will not be occupied during construction.
  - g. Spaulding is bound by roadways on three sides. All adjacent roadways, including narrow drive on plan-west side of the building must be kept clear at all times. No parking is allowed on or adjacent to these roadways.
7. Clarifications:
  - a. Existing plumbing fixtures that are scheduled to be removed shall be salvaged to the Owner.
  - b. Existing Fire alarm system to remain. All sensors are to be bagged and fully protected throughout the project.
  - c. Appliances in Staff Lounge 159 will be provided and installed by the Owner.
  - d. Existing Lockers scheduled for removal shall be disposed of by Contractor.
  - e. FSU has confirmed that the building was previously abated during prior renovations. No abatement to be included in Contractor's bids.
  - f. The project scope does not include any new fire hydrants.
8. Wall Finishes:



- a. The full extent of Interior wall labeled WC02 will receive a wall covering and shall be prepared to Level 5 finish. Refer to Finish Schedule and finish plan for location.
- b. Walls noted to receive WC01 shall be prepared to standard Level 4 finish.
- c. At plan-north wall of Lobby where wall tile is noted to be installed, Contractor is to remove existing GWB and replace with tile backer board prior to tile installation.

**9. Signage:**

- a. Signage will not be installed on wall tile at plan-north end of Lobby
- b. Bidders asked questions regarding room identification signage. A Room Identification Signage Plan will be provided in Addendum 1. A final Room Signage Schedule and FSU Signage Standards information will be provided by Owner in future Addendum.

**10. Existing Doors:**

- a. All doors included in the scope are existing with some doors being relocated. Please refer to the door schedule, demolition floor plans and new floor plan for new location.

**11. Acoustic Ceiling Tile and Soffit Heights:**

- a. Existing ceiling tiles are flat, lay-in profile but with varying patterns/texture. In all locations except Lobby, Contractor to match existing profile and pattern as closely as uniformly possible. This information will be provided in Addendum 1.
- b. Lobby ceiling tile to be ULTIMA High NRC / 24" x 24" / White / 15/16" Beveled Tegal
- c. For ceiling and soffit heights, see 2/A11-01 (including boxed note) and 5/A43-01 for ceiling and soffit heights.

**12. New Attic Access Hatch will be 30" x 36" instead of 30"x48". This information will be provided in Addendum 1.**

**13. Curtains and Blinds Clarification**

- a. Refer to note on sheet A04-01 Demolition plan regarding existing curtains to be removed and holes patch in preparation to receive new finish.
- b. Existing Mini Blinds shall be removed and stored during construction and reinstalled by Contractor.

**14. Preferred Brand Alternate for Custom Carpet Tile**

- a. Alternate No. 5: CPT01 Custom Carpet Tile by Interface Flooring, Detours Collection is a Preferred Brand Alternate.
- b. Specified carpet tile has custom 'FSU Blue'. All other aspects of this tile being the same as the manufacturer's standard for the same style, the manufacturer is providing this custom color at no additional cost above standard.
- c. For manufacturer/supplier contact: Monica Blair-Smith, Account Executive, Interface, [monica.blair-smith@interface.com](mailto:monica.blair-smith@interface.com) | mobile 445.456.0269

d. For any substitution requests, see Section 01-25-00 of the Project Manual.

**15. Existing Data Outlet Boxes:**

- a. The Owner has identified 44 data jacks at 18" AFF in the project that will not be reused. For any such locations in walls to remain, and under separate AV/IT bid package, these jacks will be provided with a blank cover.

**16. Bidders asked question, "If the Alternate bids are accepted, will the Period of Performance be extended." The Period of Performance, or duration of construction will not be extended. All longer lead items should be procured early to assure arrival and timely installation.**

**17. DDC Control Vendor:**

- a. Information pertaining to any current vendor and/or service provider for DDC controls for existing systems will be forthcoming from the Owner.

**End of Meeting**

**Attachments:    Sign In Sheets**

PROJECT: Spaulding Building Renovation

CLIENT: Fayetteville State University

MEETING: Pre-Bid Meeting

DATE: 26 Jun 2025

Name (please print)	Company	Trade	Phone Number	Address
Kenneth Luker	Studio Archibene	Architect	919-804-8989	k.luker@archibene.com
Marian Espitia	Studio Archibene	Designer	919-804-8989	m.espitia@archibene.com
Harold Miller	FSU	Director	910-672-1952	hmiller1@uncfsu.edu
Jason Bilodeau	FSU	Program Manager	910-672-1433	jbilodeau@uncfsu.edu
Ryan Maroney	MTE	GC	910-322-2422	Ryanem-cie.com
Kevin Jacobs	KKJG LLC	GC	910-827-2910	info@kkjg.com
Joe Ramsey	Spectra Builders	GC	919 901 5024	JoeRamsey@Spectrabuilders.com
Shawn Spears	STJ of Raleigh	GC	919 669 9460	Shawn@STJofRaleigh.com
Jessamine Robinson	Intellicom	AV/SC	984-242-7045	JRobinson@intelli.comvba.com
Nicole Cannon	ICG	GC/PM	530 310 8059	NCannon@icg-usa.com
Brandon Ward	IMEC Group	GC	252-571-4544	ward@imecgroupinc.com
Sabrina Browington	Unique Flooring	Flooring	910-237-5425	sabrina@uniquefloorsfayetteville.com
DAN Jobe	Premiere	Dataview	919-306-5217	dave.jobe@natratgo.com
Lisa Lunsford	Cruz Masters LLC	GC	910-709-5265	Lisa.Lunsford@cruzmastersllc.com
Jimmy Cruz	Cruz Masters LLC	GC	646-879-9549	jimmy.cruz@cruzmastersllc.com
Steve Beck	wired solutions	IT	910-670-8322	steve@wiredsol.com
Bill Kozikowski	Public Blue	GC	910-624-4304	TRIPLE BREW BUILDERS@yahoo.com
Aaron Smith	Strategic Connections	SC	919-369-7402	aaron.smith@strategicmail.net
Joe Anderson	K.H. Smith Comm.	SC	540-538-3195	Tanderson@KHSmith.com



PROJECT: Spaulding Building Renovation

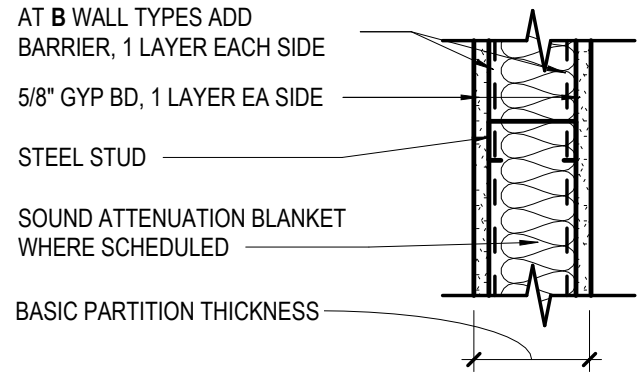
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Kenneth Luker	Studio Archibene	Architect	919-804-8989	k.luker@archibene.com
Marian Espitia	Studio Archibene	Designer	919-804-8989	m.espitia@archibene.com
Harold Miller	FSU	Director	910-672-1952	hmiller1@uncfsu.edu
Jason Bilodeau	FSU	Program Manager	910-672-1433	jbilodeau@uncfsu.edu
Chris Walker	Hayes Inc	Painting	704-302-4739	skygscaper299@gmail.com
Ryan Hollis	CNC	GC	910-274-2601	RHollis@buildingnc.com
CLAYTON KOLLEAR	W.D.C.	GC	910-485-6002	W.D.C. BUILDERS.COM
ROBERT BREWSTER	Hayes Inc	GC	910-323-9112	HAYES INC 2309 MAIL
Robert Farmer	Farmer Electric	Electrical	910-987-0972	RFarmerFEC@gmail.com
Rob Miller	Cavlin Construction	GC	910-339-4779	Rmiller@ccfnc.com; Samantha@ccfnc.com
DOUGLAS MARTINEZ	SILVER LAKE CONST	GC	919-916-0024	douglas@silverlake.nc.com
NICOLE MARTINEZ	"	"	919-961-7299	nicole@silverlake.nc.com
Robert Worthington	Cruz Mastos	GC	919-918-3949	robert.worthington@silvermastoilc.com
MICAH PURDIE	BARR AND BARR	GC/CM	919-664-3779	MPURDIE@BARR AND BARR.COM
JONATHAN BEST	BARR AND BARR	GC/CM	919-664-3779	JBEST@BARR AND BARR.COM
Daryl Sanders	E.C.I	AB	910-798-1925	sanders@ecicons.net
Christopher Coulter	Butford Electric	Electrician	910-850-6584	sherry.butfordelectric@gmail.com
Erik Benson	Instants SE	AV/LV	919-730-0894	erik.benson@instants.com
Henry Loke	Skas O'Brien	Eng.	919-	

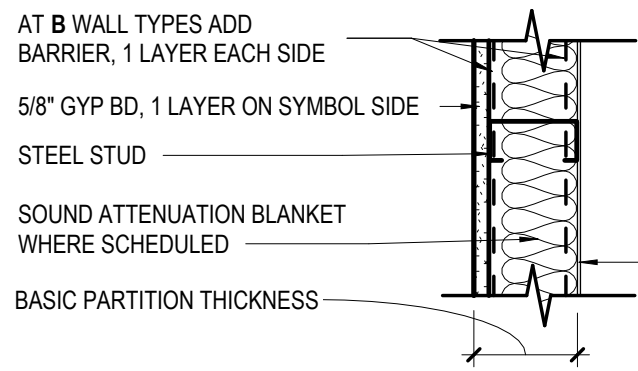
DOOR SCHEDULE																
Door Number	Existing	Type	Door					Fire Rating	Hardware	Frame					Comments	
			Width	Height	Thickness	Material	Finish			Type	Material	Finish	Jamb	Head		
100	Yes	B	3' - 11"	7' - 10"	0' - 1 3/4"	AL					AL				LCN 9500 Series Automatic Operator to be added to existing storefront door	
103	No	A	3' - 0"	7' - 0"	0' - 1 3/4"	WD/GL	ST				HM	PT			Existing door opening to be used for Existing Door X101 in new location	
104	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
106	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	STL	PT				HM	PT				
107	Yes	A	4' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
108	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
109	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
110	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
112	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
113	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
114	No	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT			Existing Door X155 in new location	
115	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
116	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
117	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
118	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
119	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
120	No	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT			Existing Door X111 in new location	
121	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
122	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
123	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
124	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
125	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
126	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
128	Yes	A	4' - 0"	7' - 0"	0' - 1 3/4"	STL	PT				HM	PT				
150	No	C	3' - 0"	7' - 0"	0' - 1 3/4"	WD/GL	ST				HM	PT			Existing Door X129 in new location. New Hardware Required. If current lite is not tempered, replace with tempered glazing.	
152	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
153	No	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT			Existing door opening to be used for Existing Door X122A in new location	
154	No	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT			Existing Door X154 in new location	
155	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
156	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
158	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
159	No	C	3' - 0"	7' - 0"	0' - 1 3/4"	WD/GL	ST				HM	PT			Existing Door X104 in new location	
160	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
161	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
162	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
163	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
164	Yes	A	3' - 0"	7' - 0"	0' - 1 3/4"	SCWD	ST				HM	PT				
169	Yes	B	3' - 0"	7' - 10"	0' - 1 3/4"	AL					AL					



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\*FOR ALL WALL TYPES WITH THE LETTER B - ADD BARRIER AS SPECIFIED IN 07 26 00 AND AS SHOWN IN SECTION

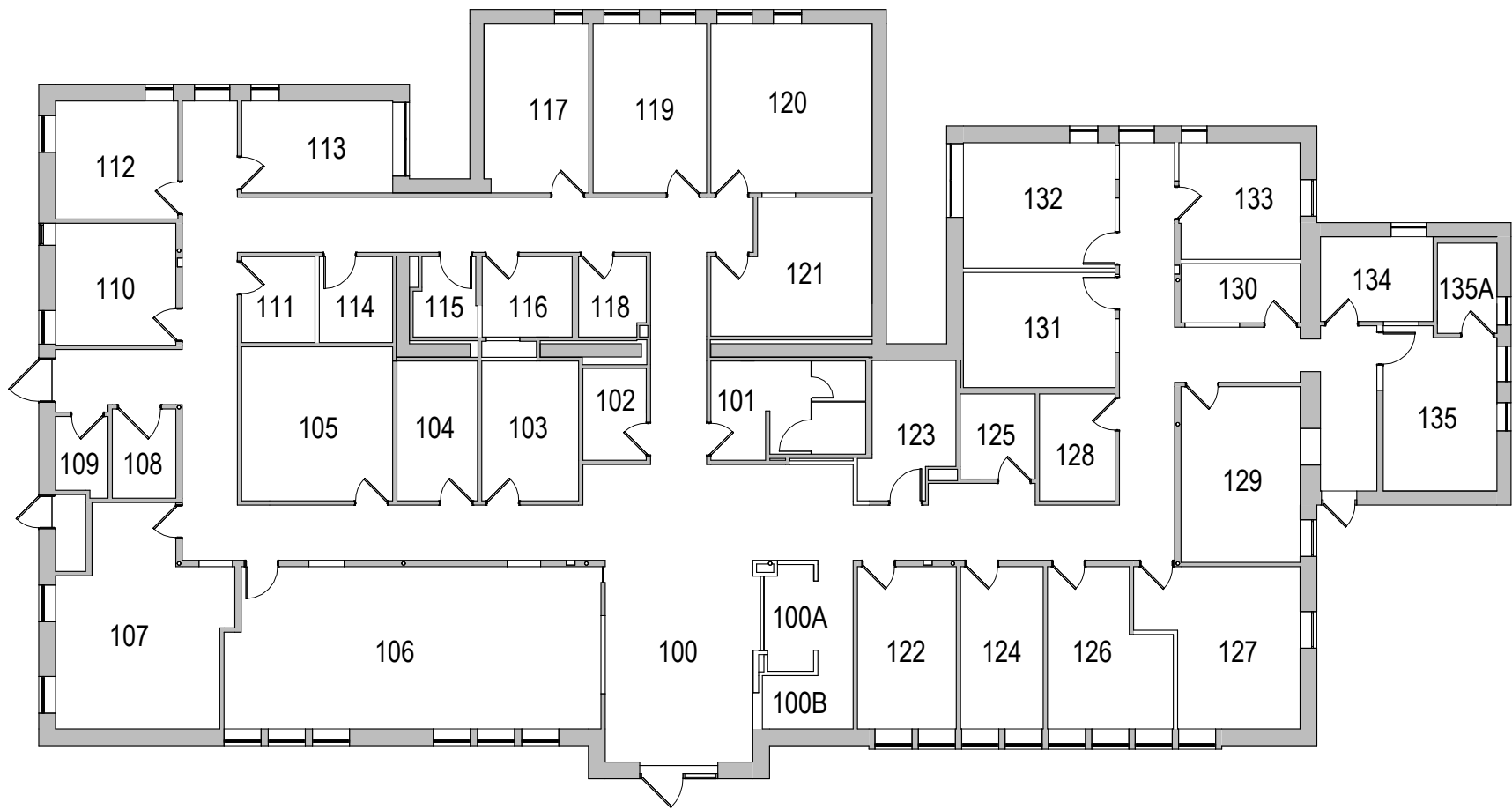
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1-HR RATED WITH GYP BD TO STRUCTURE ABOVE			A20	46	A30	40	A40	47	A50	40	A60	47	A70	40	A80	48
NON-RATED WITH GYP BD TO STRUCTURE ABOVE	A11	39	A21	46	A31	40	A41	47	A51	40	A61	47	A71	40	A81	48
NON-RATED WITH GYP BD TO 6" ABOVE CEILING	A12		A22		A32		A42		A52		A62		A72		A82	
NON-RATED WITH STUDS & GYP BD TO FINISHED CEILING	A13		A23		A33		A43		A53		A63		A73		A83	
PARTIAL HEIGHT PARTITION. SEE ELEVATIONS FOR HEIGHTS.	A14		A24		A34		A44		A54		A64		A74		A84	
STUD SIZE	2 1/2"		2 1/2"		3 5/8"		3 5/8"		4"		4"		6"		6"	
BASIC PARTITION THICKNESS	3 3/4"		3 3/4"		4 7/8"		4 7/8"		5 1/4"		5 1/4"		7 1/4"		7 1/4"	
ACOUSTICAL INSULATION	-		YES		-		YES		-		YES		-		YES	
FIRE TEST NUMBER (WHERE APPLICABLE)	-		UL DES U494		UL DES U465		UL DES U465		UL DES U465		UL DES U465		UL DES U465		UL DES U465	

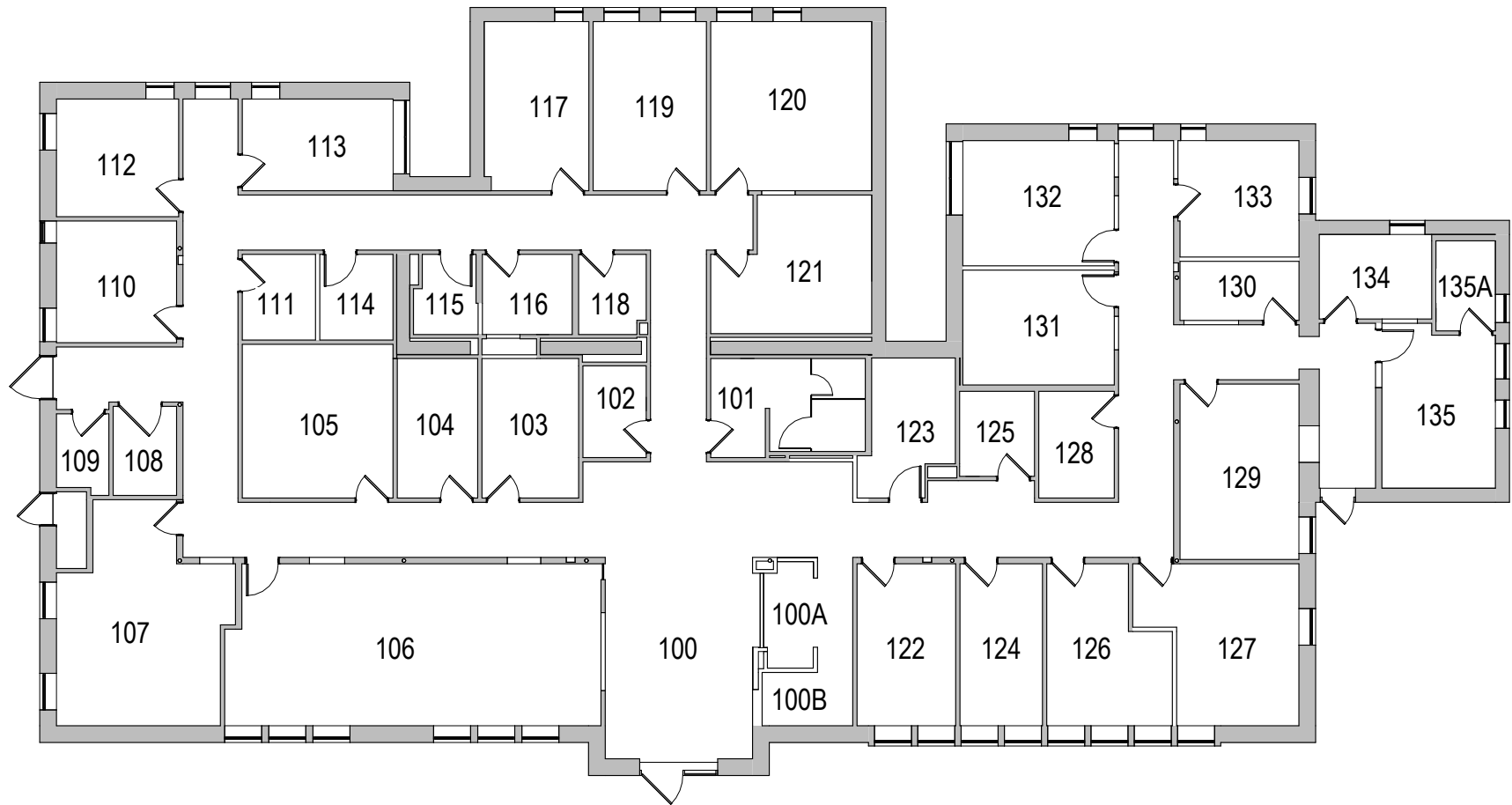


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\*FOR ALL WALL TYPES WITH THE LETTER B - ADD BARRIER AS SPECIFIED IN 07 26 00 AND AS SHOWN IN SECTION

	D1_	S/C	D2_	S/C	D3_	S/C	D4_	S/C	D5_	S/C	D6_	S/C	D7_	S/C	D8_	S/C	D9_	S/C
NON-RATED WITH GYP BD TO STRUCTURE ABOVE	D11	27	D21	29	D31	27	D41	30	D51	27	D61	30	D71	27	D81	31	D91	26
NON-RATED WITH GYP BD TO 6" ABOVE CEILING	D12		D22		D32		D42		D52		D62		D72		D82		D92	
PARTIAL HEIGHT PARTITION. SEE ELEVATIONS FOR HEIGHTS.	D13		D23		D33		D43		D53		D63		D73		D83		D93	
STUD SIZE	2 1/2"		2 1/2"		3 5/8"		3 5/8"		4"		4"		6"		6"		1 1/2"	
BASIC PARTITION THICKNESS	3 1/8"		3 1/8"		4 1/4"		4 1/4"		4 5/8"		4 5/8"		6 5/8"		6 5/8"		2 1/8"	
ACOUSTICAL INSULATION	-		YES		-		YES		-		YES		-		YES		YES	





3

### ROOM IDENTIFICATION SIGNAGE PLAN

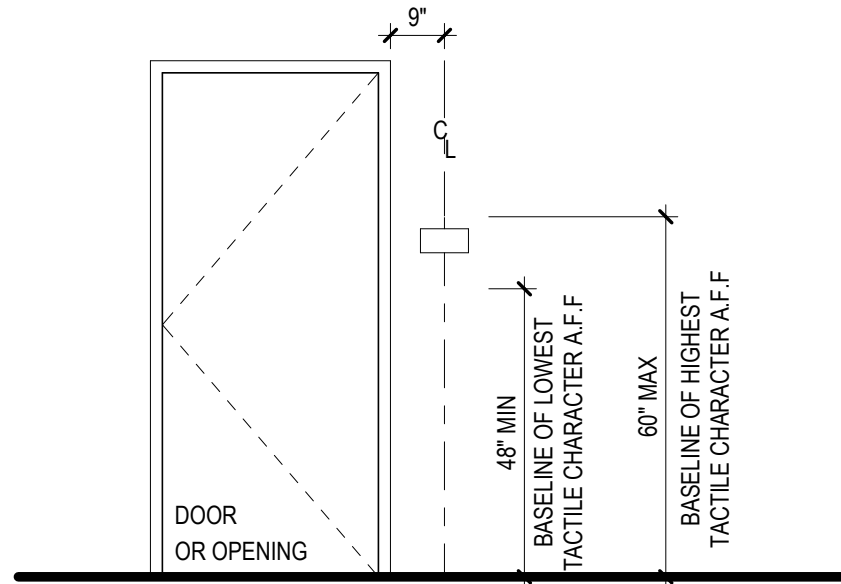
1/16" = 1'-0"

SHEET A62-01

# FSU Spaulding Building Renovation

Addendum 1

July 2, 2025



**4 ROOM IDENTIFICATION SIGNAGE MOUNTING HEIGHT**  
 3/8" = 1'-0"  
 SHEET A62-01

# FSU Spaulding Building Renovation

Addendum 1  
 July 2, 2025